

Rezoning Petition No. 2020-123

Collett Properties, Inc., Petitioner

Community Meeting

October 1, 2020

Agenda

- I. Introduction of Rezoning Team Members
- II. Current Rezoning Schedule
- III. Site/Current Zoning/Rezoning Request
- IV. Information on Collett Properties, Inc.
- V. Review of Rezoning Plan
- VI. Questions

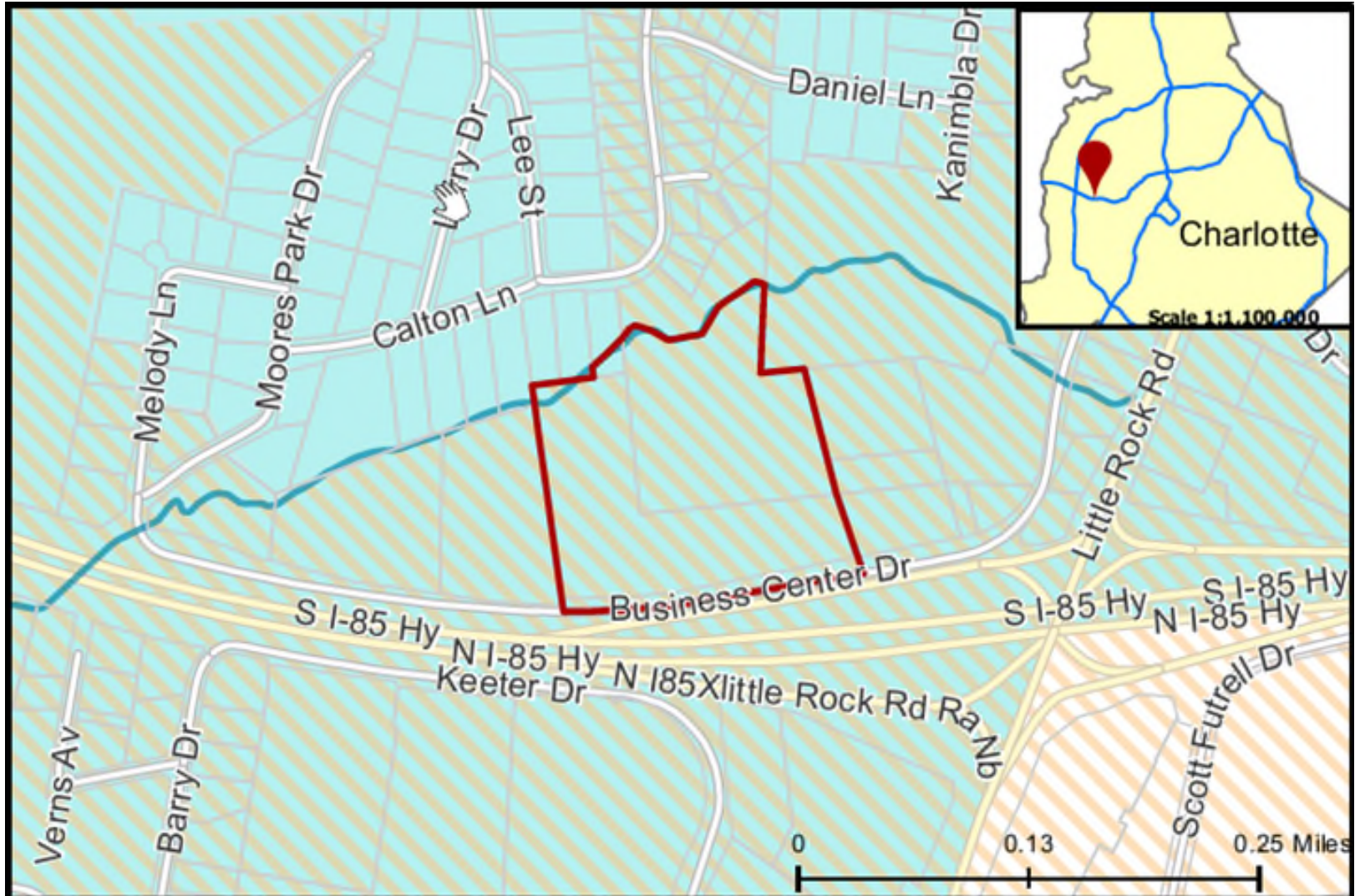
Rezoning Team

- Teddy Hull, Collett Properties, Inc.
- Mike Robbe, Collett Properties, Inc.
- Kevin Caldwell, Geoscience Group
- John Carmichael, Robinson, Bradshaw & Hinson

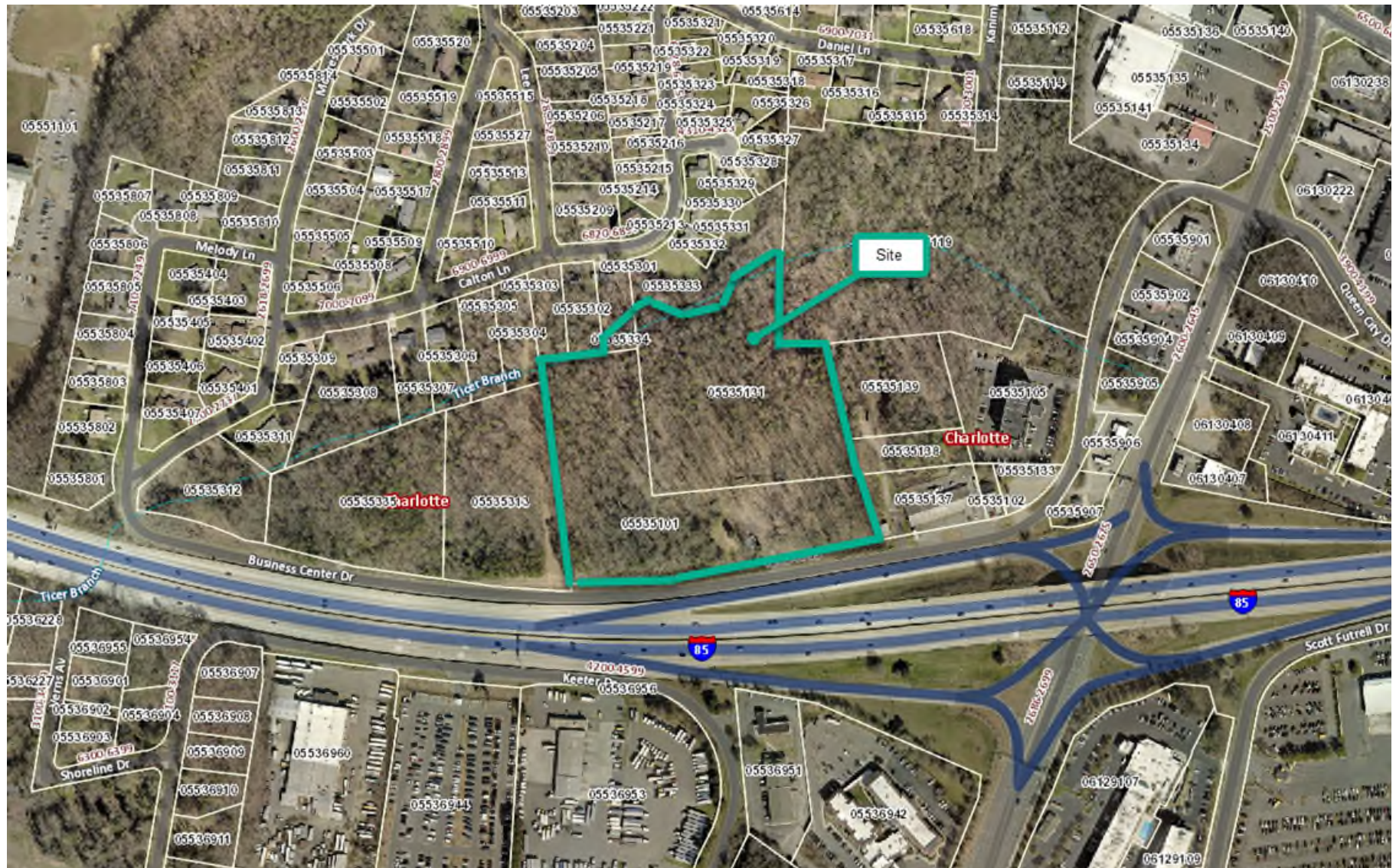
Current Rezoning Schedule

- Public Hearing: Monday, November 16, 2020 at 5:00 PM at the Charlotte-Mecklenburg Government Center
- Zoning Committee: Tuesday, December 1, 2020 at 5:30 PM at the Charlotte-Mecklenburg Government Center
- City Council Decision: Monday, December 21, 2020 at 5:00 PM at the Charlotte-Mecklenburg Government Center

Site – 13.22 Acres



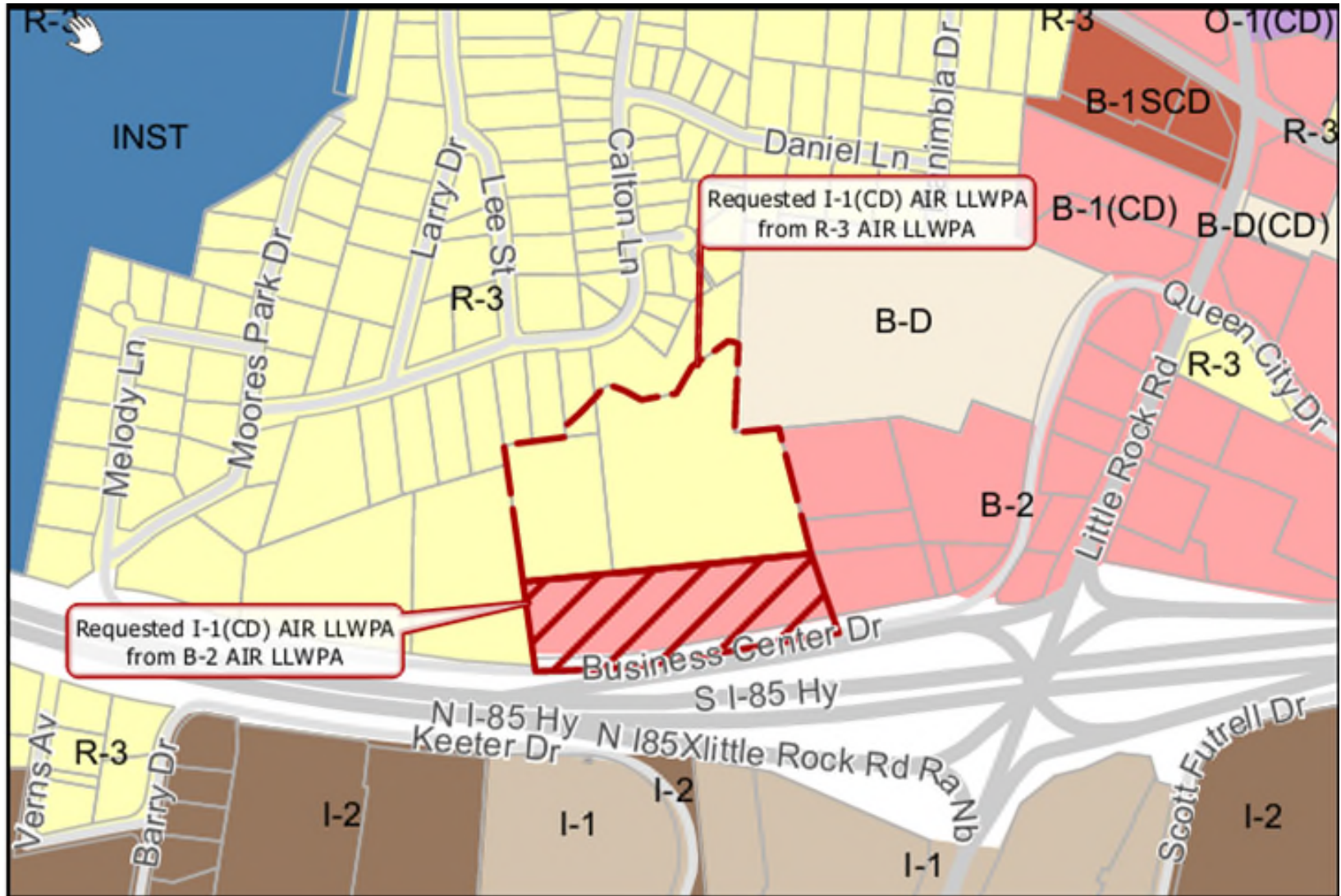
100



Site – 13.22 Acres



Current Zoning of the Site and Nearby Parcels



Rezoning Request

Requesting that the site be rezoned from the R-3 AIR LLWPA and B-2 AIR LLWPA zoning districts to the I-1 (CD) (Light Industrial) AIR LLWPA zoning district to accommodate a maximum 175,000 square foot building that would be devoted to office, warehouse, distribution and other light industrial uses and limited outside storage on the site

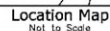
Collett Properties, Inc.



<https://www.collettre.com/home>



Rezoning Plan



CALTON LANE.

BUSINESS CENTER DR

SCALE: 1" = 50'

July 18, 2020

1. GENERAL PROVISIONS

- [illegible]

2. PERMITTED USE/DEVELOPMENT LIMITATIONS

8. Notwithstanding the limitations set forth herein, the Site may be limited in any use or uses allowed by right or under preserved conditions in the following district, together with any associated or necessary or associated easement, however, that are prohibited under the Ordinance in the following district.
- B. Notwithstanding the terms of paragraph 2.A above, the following uses that is prohibited on the Site:
- (1) Adult establishments;
 - (2) Amusement, recreation or other amusements;
 - (3) Automobile repair garages;
 - (4) Automobile sales and repairs, including trade-in sales and accompanying trade-in sales;
 - (5) Automobile service centers;
 - (6) Barber and beauty shops;
 - (7) Car washes;
 - (8) Financial institutions;
 - (9) Hotels and motels;
 - (10) Eating, drinking and entertainment facilities (Type I and Type 2);
 - (11) Retail establishments, shopping centers and markets, personal and recreational services;
 - (12) A combination of one or more of the foregoing uses.
- C. A combination of one or more of the following may be constructed on the Site. Accessory building and structures located on the Site shall not be considered as one limitation on the number of permitted buildings on the Site.
- D. A total maximum of 12,000 square feet of ground floor area may be constructed on the Site.
- E. The principal building and any accessory building and structures, shall be located within the Building Footprint depicted on the Rezoning Plan.
- F. Paving shall be created within the Parking Footprint depicted on the Rezoning Plan. Parking areas may also be located within the Building Footprint.
- G. Outdoor storage may be located within the Parking Footprint subject to the following conditions:
- 3. TRANSPORTATION**
- A. Vehicles access shall be to the roadway adjacent to the Rezoning Plan. The placement and construction of the access points are subject to any state or federal rules required by the Department of Transportation ("DOT") and the North Carolina Department of Transportation ("NCDOT").
- B. The alignment of the internal private drive, and driveway and the other circulation areas may be modified by Petitioner to accommodate changes in traffic patterns, public facilities, and any adjustments required for approval by DOT and/or NCDOT in accordance with applicable local and state laws.

C. *totanus* s. *demellus* var.

- A. The bareness height in feet on any building constructed on the Site shall be 50 feet as measured under the Ordinance.

H. Notwithstanding the terms of any

- C. In the event that an adjacent parcel of land is a zoned district or is located in a zoning district or across the public right-of-way from the Site, the Port of Portland may request that the adjacent parcel be rezoned to a zoning district that is consistent with the zoning of the Site. The Port of Portland may request that the adjacent parcel be rezoned to a zoning district that is consistent with the zoning of the Site. The Port of Portland may request that the adjacent parcel be rezoned to a zoning district that is consistent with the zoning of the Site.

6. ENVIRONMENTAL FEATURES

- A. Development of the Site shall comply with the requirements of the City of Charlotte Tree Ordinance.
- B. Pollinator shall comply with the applicable provisions of the Charlotte City Council approved and adopted Post-Construction Stormwater Ordinance.
- C. The location, size and type of storm water management systems depicted on the Storming Plan are subject to review and approval as part of the E.I.D. development plan submittal, and are not legally approved until receiving. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site drainage points.

7. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- A. If the Reasoning Position is approved, all provisions applicable to the mine and development of the Site pursuant to the Reclamation Development Standards and the Reasoning Plan will, unless stated otherwise, be the manner provided under the Reclamation Plan, but binding upon and enforceable to the benefit of Titleholder and its successors and subsequent owners of the Site and its respective successors in interest and assigns.

[illegible]

☒ PRELIMINARY NOT
FOR CONSTRUCTION
☐ ISSUED FOR
BIDDING
☐ ISSUED FOR
PERMIT
☐ ISSUED FOR

BUSINESS CENTER DR
CHARLOTTE, NORTH CAROLINA

REZONING

RZ	1
----	---



Questions